



Communities and Neighbourhoods Scrutiny Board (4)

Time and Date

10.00 am on Thursday, 8 December, 2022

Place

Committee Room 3, Council House, Coventry

Public Business

1. **Apologies and Substitutions**
2. **Declarations of Interest**
3. **Minutes** (Pages 3 - 8)
 - a) To agree the Minutes of the previous meeting held on 6 October, 2022
 - b) Matters arising
4. **Housing and Homelessness Services Update** (Pages 9 - 14)
Briefing Note of the Director of Adult Services and Housing
5. **Greenspaces** (Pages 15 - 26)
Briefing Note of the Director of Streetscene and Regulatory Services
6. **Householder Design Guide Supplementary Planning Document (SPD) Public Consultation** (Pages 27 - 52)
Briefing Note of the Director of Streetscene and Regulatory Services
7. **Work Programme and Outstanding Issues - 2022/23** (Pages 53 - 56)
Report of the Chief Legal Officer
8. **Any other items of public business which the Chair decides to take as matters of urgency because of the special circumstances involved**

Private Business - Nil

Julie Newman, Chief Legal Officer, Council House, Coventry

Wednesday, 30 November 2022

Note: The person to contact about the agenda and documents for this meeting is Suzanne Bennett, Email: suzanne.bennett@coventry.gov.uk

Membership: Councillors S Agboola, R Bailey, L Bigham (Chair), J Gardiner, G Hayre, M Heaven, A Hopkins, R Singh, R Thay

By invitation Councillors P Akhtar, A S Khan, S Nazir, D Welsh

Public Access

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Suzanne Bennett,
Email: suzanne.bennett@coventry.gov.uk

Coventry City Council
Minutes of the Meeting of Communities and Neighbourhoods Scrutiny Board (4)
held at 10.00 am on Thursday, 6 October 2022

Present:

Members: Councillor L Bigham (Chair)
Councillor S Agboola
Councillor R Bailey
Councillor M Heaven
Councillor R Singh
Councillor R Thay

Other Members: Councillor D Welsh, Cabinet Member for Housing and Communities

Employees

Street Scene and Regulatory Services D Butler, C Styles,

Law and Governance V Castree, G Holmes

Apologies: Councillors G Hayre, A Hopkins and T Khan

Public Business

7. Declarations of Interest

The Scrutiny Board noted that Councillors Bailey and Heaven were Members of Planning Committee in relation to the items for consideration in Minutes 9 and 11 below.

8. Minutes

The minutes of the previous meeting held on 7 July, 2022 were agreed as a true record.

There were no matters arising.

9. Houses in Multiple Occupancy (HMO) Development Plan Document (DPD) and Article 4 Direction Public Consultations

The Scrutiny Board considered a report, appendices and presentation which covered the following points:

- Lack of planning oversight on small HMOs
- Significant neighbourhood issues such as waste, noise, general ASB and weakening of community ties
- HMOs tend to be in concentrations exacerbating such issues
- Evidence base created (internal sources, external commission)
- Site visits, mapping exercises

- Best practice examples
- Draft Reg 18 DPD created detailing issues and preferred policy options
- Identifies amenity issues and Key Issues of
 - Concentration
 - Sandwiching
 - Thresholds
- Article 4 Direction drafted and mapped
- Cabinet (30/08) & Council (06/09) approval to consult
- 8 weeks consultation 20/09 – 15/11
- The Development Plan Document (Regulation 18)
 - Identifies issues and preferred options
 - HMO1 – General
 - HMO2 – Concentration
 - HMO3 – Sandwiching
 - HMO4 – Amenity
- Article 4 Direction
 - Removes Permitted Development rights in nominated areas
 - Thus DPD policies would apply to all HMO applications
 - Needs to be reasonable, evidenced etc.
- The eleven wards covered by the Article 4 Direction
 - Cheylesmore, Earlsdon, Foleshill, Lower Stoke, Radford, Sherbourne, St. Michael's, Upper Stoke, Wainbody, Westwood, Whoberley
- The timeline for consultation

The Scrutiny Board made the following comments:

- Concerns about displacement to wards and neighbourhoods outside of the Article 4 Direction
- Concerns there would be a rush to convert houses into HMO's before the regulations came into force
- Concerns that landlords may apply for different use, such as residential care and then later on convert to HMO's
- What can be learned from other areas experiences of implementing policies to manage HMO numbers?
- Concerns that the DPD didn't address parking issues and those in the Local Plan were not currently adequate. This could be an opportunity to address new parking regulations.
- How the information is being shared with current and potential HMO landlords.
- The impact on current HMO's
- The 100m rule would have different implications in areas of different housing density.
- The importance of working alongside licensing colleagues to ensure that current HMO's are licenced and therefore included in any calculations for making decisions on future applications.
- Concerns about developers identifying loopholes to get around planning or licensing requirements, such as converting properties into flats.
- Concerns that 10% is too high a threshold for measuring density
- Whether issues around bin storage and collection would be addressed as part of the proposals.

RESOLVED that the Communities and Neighbourhoods Scrutiny Board (4):

- 1) Supports and welcomes the aims of the proposals being consulted on.**
- 2) Recommends that the comments and concerns raised in the meeting be considered as part of the consultation representations.**

10. Local Listings

The Scrutiny Board considered a report and presentation which covered the following points:

- What a local listing is
- Criteria - The heritage asset should be valued locally for some, or all, of the following reasons:
 - It must be capable of being a heritage asset within the government's definition
 - It must have heritage interest that can be conserved and enjoyed
 - It must have value as heritage for the character and identity of the area for its heritage interest beyond personal or family connections
 - Its significance must be greater than the general positive value of its surroundings
 - Historic
 - Artistic
 - Community
 - Evidence
 - Age
 - Rarity
 - Integrity
 - Group value
 - Coventry's identity
- Current process
 - Members of the public, organisations etc can make nominations for inclusions onto the local list via CCC website.
 - Nomination forms ensure that applicants consider the key grounds required of a valid nomination
 - Officers review nomination to ensure validity (N.B. without making a judgement on merit)
 - Cabinet Member meeting approval in order to take the nomination to public consultation
 - Following findings of public consultation, officer review leading to report and recommendation upon nomination.
 - Cabinet member meeting to present findings and approve/refuse the local listing

The Scrutiny Board asked questions and received information from officers on the following:

- Whether it was individuals or organisations that tend to nominate for local listings
- That the process is the same if a proposed listing is Council property or a private property and owners are included in the process

- The conservation officer makes recommendations as to what counts as a heritage asset but based on the criteria listed and also desk top research. Social history is considered just as significant.
- Outreach work did happen with schools to share local history but it was an area in development.

RESOLVED that the Communities and Neighbourhoods Scrutiny Board (4) recommends to the Cabinet Member for Housing and Communities that the outreach programme with schools be strengthened and includes Ward Members.

11. Tall Building and View Management Framework Supplementary Planning Document (SPD) Public Consultation

The Scrutiny Board considered the reports, appendices and a presentation which covered the following:

- The two key functions of the Supplementary Planning Document (SPD)
 - To set the design guidance framework for proposals for new tall buildings throughout the city
 - To articulate and further clarify the considerations of the three spires view cones, already in policy in the Area Action Plan
- Consultation took place between 3rd August 2022 and 14th September 2022
- Delivers upon commitment in policy CC7 in City Centre Area Action Plan
- Received representations now being considered ahead of recommendations being made.
- Comments made by the Board would be included as part of the consultation

The Scrutiny Board asked questions and made the following comments:

- Concerns that the proposals could lead to lots of tall buildings in one area of the city centre where views aren't affected
- Whether views opened up by the removal of buildings could be added to the protected views
- How the viewpoints were identified.
- Whether the viewing points were promoted as tourist attractions.

RESOLVED that the Communities and Neighbourhoods Scrutiny Board (4):-

- 1) Supports the aims of the Supplementary Planning Document**
- 2) Recommends that the comments and concerns raised in the meeting be considered as part of the consultation representations.**
- 3) Recommends that the Cabinet Member for Housing and Communities promotes the viewpoints of the three spires as tourist attractions**

12. Work Programme and Outstanding Issues 2022/23

The Scrutiny Board considered the Work Programme 2022/23 and requested that the following items be added to the Scrutiny Board's Work Programme:-

- Strategic Flood Risk Assessment
- Fly-tipping and Street Cleansing
- Empty Properties
- Use of Green Spaces – including mile markers, lighting and paths

RESOLVED that the items identified by the Scrutiny Board be added to the Work Programme 2022/23

13. **Any Other Items of Urgent Public Business**

There were no other items of urgent public business.

(Meeting closed at 12.10 pm)

Chair _____

Date _____

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Briefing note

To: The Communities and Neighbourhoods Scrutiny Board (4)

Date: 4 November 2021

Subject: Housing and Homelessness Services Update

1 Purpose of the Note

- 1.1 To update the Communities and Neighbourhoods Scrutiny Board (4) on the progress of the Housing & Homelessness Service and the key initiatives that have been implemented during the previous 12 months
- 1.2 To identify to the Communities and Neighbourhoods Scrutiny Board (4) the key Housing issues that are currently present within the service

2 Recommendations

- 2.1 Communities and Neighbourhoods Scrutiny Board is recommended to:
 1. Note the information contained within this report; and
 2. Identify any further recommendations for the Cabinet Member

3 Background and Information

- 3.1 The Council approved its Housing and Homelessness Strategy (2019-2024) in March 2019 and is the core strategy that drives the service forward. The strategy has four key areas of focus:
 - Preventing homelessness & supporting homeless households
 - Support for people and communities
 - Improving existing homes
 - Housing development
- 3.2 The Strategy Action plan is currently being refreshed to demonstrate progress against actions and to ensure it reflects the current housing priorities in the city.
- 3.3 The Housing and Homelessness Service has undergone a significant transformation over the previous 3.5 years with a number of initiatives/projects being worked on which have:
 - Reduced the financial burden on the Authority whilst providing better quality temporary accommodation options.
 - Increased the number of households where homelessness is prevented or relieved and therefore decreasing the number of households in temporary accommodation.

- Increased the number of properties available to households in exceptional housing need that are either at social/affordable rents or at the Local Housing Allowance rates if in the private rented sector.

4 Statutory Homeless Service improvements and progress

4.1 The table below sets out a number of projects/improvements that have been implemented over the previous 2 years and the progress that these have achieved.

Project	Progress	Next steps
Re-commissioning of Homelessness Related Support (HRS) contracts	<p>All HRS contracts were mobilised and in place by the target date of April 2020. The contracts were for an initial 3 years with an additional 2 extensions of 2 years each.</p> <p>We are currently recommissioning the housing first provision after receiving continuation of an extension to the funding.</p>	<p>Contracts have been monitored closely. Two-year extension currently going through the required approval process.</p> <p>Contracts will be awarded by early January allowing a 12-week mobilisation period with a go live date of 1st April 2023</p>
Implement Homefinder Allocations Scheme	<p>The current Homefinder allocations scheme went live on the 13th of September 2021 following procurement and implementation of a new IT system for the service.</p> <p>There are currently over 6,800 applications that are live and able to bid for properties on the system. Of these there are circa 950 households in Band 1 (Urgent Housing Need). Over 900 households have been successfully housed through the scheme since it went live in September 2022.</p>	<p>A 12-month review is currently ongoing to consider any impact on specific groups identified in the Equalities Impact Assessment.</p> <p>We are continuing to work with the system provider and partners to make changes to some aspects of the system to improve customer experience and increase efficiencies.</p>
Rough Sleeping	<p>The extended outreach team now includes both inreach and outreach workers, a substance misuse specialist & Mental Health social worker. We have secured and delivered additional accommodation in the city for RS (Rough Sleepers) through funding from DLUHC (Department for Levelling Up, Housing and Communities). This funding is in addition to 3-year Rough Sleeping initiative funding (RSI5) being confirmed.</p>	<p>Provision for winter pressures and our SWEP (Severe Weather Emergency Protocol) response have been reviewed and resources are in place to ensure we are able to respond effectively during the winter. A New RS job coach role is being recruited to. The post is being funded via the WMCA and will work to support people with a history of rough sleeping into employment, education, and training.</p> <p>SHAP (Single Homelessness Accommodation Programme) funding</p>

Project	Progress	Next steps
	<p>The city has successfully secured funding via the RSDATG (Rough Sleeping Drugs & Alcohol Treatment Grant) to create a substance misuse treatment team to work directly with those rough sleeping or at risk of rough sleeping.</p> <p>The team regularly find between 6 & 13 individuals sleeping rough on each outreach walk.</p>	<p>prospectus due to be published in Winter 2022.</p> <p>Coventry as part of WMCA is part of the early adopter pilot programme which is developing definitions and measures to understand and monitor rough sleeping more accurately. The indicators once tested and agreed will be used nationally to report, measure, and respond to rough sleeping</p>
Rough Sleeper Strategy	<p>The city's partnership rough sleeping strategy was approved in December 2019. The rough sleeping landscape has changed significantly since its publication. Learning from the pandemic and the everyone in initiative means that numerous priorities and actions that were originally identified have now been completed or superseded.</p>	<p>The Revised action plan is currently out for consultation with partner organisations. Due for adoption by 31/12/22.</p>
Reduce cost of expensive Temporary Accommodation (TA)	<p>The service delivered an underspend in 2021/22 primarily through the reduction in cost for TA.</p> <p>The service implemented a charging policy which has recovered £460k since implementation and £157k in the last 12 months.</p> <p>The cost of TA has also been offset by a significant increase in Housing Benefit recovery.</p>	<p>The Accommodation team will continue to review costs and ensure best value for money. We also continue to consider alternative TA options which deliver good quality accommodation alongside financial savings.</p>
Eliminate use of B&Bs for families	<p>No families were placed in B&B accommodation for 2 ½ years (except in an emergency and then moved the following working day). Due to a significant increase in demand from families, we have seen a number of families placed in B&B with the maximum one night during 2022 being 24, currently this is one family.</p>	<p>To maintain this reduction amidst an increase in families approaching as homeless by increasing alternative provision and preventing more families from becoming homeless.</p>

Project	Progress	Next steps
Eliminate use of B&Bs for single people	No singles were placed in B&B accommodation for 2 years. Due to demand, we have seen a number of single people placed in B&B with the maximum one night during 2022 being 30. Currently this is 4	Maintain this reduction by utilising all other options. Make use of Disabled Facilities Grants to diversify Council owned TA properties with adaptations and accessible options for people with disabilities.
Alternative TA for families	Approval from Cabinet in March 2022 to purchase up to 50 large family properties in March 2022. with a target of 25 within 18 months. 12 properties have been purchased to date, offers have been accepted on a further 13. New contract for Private Rented Sector (PRS) TA has been procured. Working with Citizen Housing to provide additional TA.	Complete purchasing of family TA properties. Mobilise and monitor new contracts. Continue to explore further options with Citizen housing.
Discharge Homeless Duty into the PRS policy and Let's Rent Coventry.	Let's Rent Coventry scheme, to incentivise private landlords to make properties available for homeless households, has housed 76 households out of Temporary Accommodation into affordable permanent accommodation since its launch.	We have reviewed the current offer to landlords, due to the PRS sector being extremely buoyant, The service will pilot the new approach/offer launching in December 2022 and will review at the end of March 2023.
Successful preventions and reliefs	In 2021/22 the service either prevented or relieved homelessness for 1149 households in the city, the highest successful outcomes ever. Currently the service has successfully prevented or relieved homelessness for 688 households for the year 2022/23 so far.	The service will seek to achieve an increase in successful outcomes against a backdrop of increasing demand for households approaching as homeless and an increasingly competitive private rental market. Continue to work with partners to engage households who are at risk of homelessness to seek support at the earliest stage possible. Recruiting to existing vacancies to assist in dealing with increased demand.

Project	Progress	Next steps
Temporary Supported Accommodation	Council-owned Hostel buildings and Houses of Multiple Occupation for single homeless people have been purchased, a hub office created and co-location with the commissioned service.	Continue purchasing in line with Cabinet approval. Monitor use of the properties and ensure 90% plus occupancy and effective management.
Supported Exempt Accommodation	The city has seen an increase in supported exempt accommodation. Joint working to resolve issues has been undertaken with some positive outcomes. Funding has been secured through the DLUHC Supported Accommodation Improvement Programme to create a small team to drive up standards amongst providers.	Recruit to the team, develop processes and a charter and drive-up standards across the sector. There will be a specific item at SCRUCO on Supported Exempt Accommodation in January 2023 recognising the limitations of local authority control over this sector.

4.2 Increasing Affordable Housing

The council works with Registered Providers & other organisations/landlords in the city to ensure that there are appropriate levels of accommodation built in the city to meet the needs of residents. This includes the following:

- Working with Citizen on regeneration projects across the city including The Spirit Quarters, Spon End and Wyken.
- Working with Citizen as part of the Joint Venture agreement to develop affordable housing on adjoining land interests, in addition to assisting them with development on their existing former garage and infill sites.
- Ensuring the delivery of affordable housing through s106.
- Planning Policy and Housing have developed a new Affordable Housing Supplementary Planning Document (SPD) which will help deliver best outcomes for affordable housing provision from planning applications.
- Working with and supporting all Registered Providers in the City to increase the amount and appropriateness of affordable housing.
- Planning permission secured for 15 units on a council owned site at Cheltenham Croft which will be 100% affordable provision – the site is currently being marketed.
- Promoting large-scale sites through the planning system to secure residential planning permission including – Elm fields Farm, Allard Way, and Browns Lane.
- Working with Community led organisations to bring forward community housing schemes in the city.
- Increase the capacity of the Let's Rent Coventry rent guarantee scheme which secures PRS properties at the Local Housing Allowance rates on a minimum of a 12-month tenancy.

5 Future pressures

5.1 The service has seen an increase in the number of families approaching as homeless throughout 2022 and anticipate this will continue as we move into and through 2023. We are equally anticipating an increase in the number of single people presenting as homeless and an increase in rough sleepers. These increases are largely driven by the following factors;

- With the likelihood of a recession and the cost-of-living issues it is anticipated that more households will struggle financially to meet their housing costs, whether this is rented or mortgage payments.
- Other factors include a buoyant private rented sector and an increase in Domestic Abuse presentations
- During previous financial downturns there has been an adverse impact on young people living at home who are evicted by their parents/guardians due to pressures on the family.
- The service has a number of actions in place to support the mitigation of these risks as identified earlier in the report based on prevention, effective temporary accommodation where required, and move on.

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Coventry City Council

Briefing note

To: The Communities and Neighbourhoods Scrutiny Board (4)

Date: 8 December 2022

Subject: Greenspaces

1 Purpose of the Note

- 1.1 To consider levels of usage post pandemic and steps taken to encourage usage of green spaces and parks such as paths, lighting, and mile markers

2 Recommendations

- 2.1 The Communities and Neighbourhoods Scrutiny Board (4) is recommended to:
 - 1) Note the content of the report and the steps taken to improve access to parks and greenspaces
 - 2) Support the work of the park ranger service recognising the impact on engaging and involving the local community and volunteers in their parks and green spaces, important for on-going sustainability in a time of limited resource
 - 3) Identify any further recommendations for the Cabinet Member

3 Background and Information

- 3.1 There is now increasing tangible evidence which demonstrates how the city's Green Spaces including all of our parks, recreation grounds, playing fields, children's playgrounds, ornamental gardens, golf courses, and woodlands directly contribute to our people's health and wellbeing. In addition to the health benefits, they help create thriving communities providing significant opportunities to develop and enhance the social, recreational, environmental, educational and economic wellbeing of our community.
- 3.2 A range of infrastructural features can typically be found within the city's parks and open spaces including hard landscaping such as footpaths, access tracks and areas of block paving as well as street furniture such as fencing, signs, stiles, seating, bins, information boards, street lighting etc. Some of the larger sites may include water features, sports changing facilities, storage for maintenance equipment, toilets, catering facilities and buildings, for instance visitor centres.
- 3.3 The City Council adopted its second Green Space Strategy in 2019. The strategy initially identified 747 individual areas of greenspace covering an area of 2002 hectares. It was recognised that many of these sites were small and offered little

amenity value. The strategy therefore focussed on individual sites greater than 0.1 hectares of which there are 650 individual sites covering 635 hectares. These varied greatly in size with the largest including Coombe Park covering 202 hectares and the War Memorial Park which approximately 48.5 hectares.

- 3.4 Two thirds of green space across the city, some 430 sites have no restrictions on public access with almost all the remainder having at least some limited public access. The sites with restricted access typically included sports clubs, allotments and school grounds.
- 3.5 It's important to recognise that greenspace can take many forms including less obvious forms such as cemeteries which also provide opportunities for quiet recreation.
- 3.6 Consultation in developing the Green Space Strategy found that the main reasons given for visiting parks and open spaces was for the fresh air, to walk and jog and to enjoy peace, quietness and relaxation. It also included seeking and being close to nature and wildlife and providing somewhere for children to play including dedicated play areas.
- 3.7 A number of barriers were also cited. These included perceptions of antisocial behaviour, and generally not feeling safe; dog fouling, poor quality or lack of facilities and some concerns around clashes with cycling and vehicles in parks.
- 3.8 Priorities suggested by the consultees listed more seats and bins; more habitats for wildlife; better control of dogs (and reduced dog fouling); better visitor facilities such as toilets and catering and more provision for young people. Other cited priorities included increased grass cutting; the repair and extended provision of paths and other hard surfaces; better maintenance of children's play areas and improved grounds maintenance
- 3.9 The most popular greenspace sites visited by those consulted are the War Memorial Park, Allesley Park, Coombe Park, Spencer Park, Longford Park, Coundon Hall Sports Ground, Lake View Park and Caludon Castle Park.

4 Covid-19

- 4.1 During the worst of the Covid-19 coronavirus pandemic (March 2020 – March 2022), parks across the UK were more heavily used than at any other time in recent history. In Coventry for example, the number of people using Allesley Park in the summer of 2021 resulted in Allesley Hall Drive being double-parked along its entire length for the first time ever.
- 4.2 During periods of lockdown, parks were one of the few places where the public could legitimately gather (with social distancing in place), take exercise and generally relax. For the majority of people, parks provided an opportunity to enjoy near normal existence but for some people they were especially important. This included people in heavily built up areas and without access to their own garden; parents of young children; workers in furlough and people living on their own, all of whom welcomed the chance to escape the confines of their home and get out into the fresh air, to relax in natural surroundings and take part in some reasonably safe social interaction.
- 4.3 The prohibition on travel through the worst of the pandemic meant that local green spaces were intensively used and many people visited their local parks for the first time. Often these initial visits led to people making further visits to local green spaces,

including their local park or one of the larger parks if it could be reached easily. As most parks in Coventry are freely accessible and have very porous boundaries, visitor numbers can only be judged anecdotally, however we know the use of car-parks was exceptional but even small local parks were heavily used by local residents judging by the comments from residents both at the time and since.

- 4.4 Another impact on parks during the pandemic was the closure of pubs and other social venues during lockdown. This meant that impromptu unsanctioned parties took place in parks especially by young adults who had become frustrated with staying in at home and sought opportunities to gather outdoors. Car-parks across the city became popular places for young people to gather, typically arriving in cars after dark and staying until the early hours of the morning with associated anti-social behaviour. This meant an increased need for cleansing and nuisance to legitimate park users – and people living near the parks affected. In some instances, even after lockdown and despite pubs and clubs reopening, a few car parks in green spaces across the city continue to be mis-used at night. New car-park barriers in some of the parks affected will help to reduce this.
- 4.5 The increased use of Coventry's green spaces put a huge strain on the infrastructure of the city's parks. Wear and tear in the parks had become progressively more obvious following the budget cuts introduced in 2016 with footpaths, playgrounds and street furniture showing the most obvious lack of investment.
- 4.6 The impact of the increased visitor numbers due to the pandemic led to a worsening of these effects with particular damage to footpaths and areas of soft landscape where the extra footfall led to compaction and loss of vegetation. Playground equipment and Multi-Use Games Areas (ballgame courts) also suffered with equipment becoming worn faster than usual and some features such as safer surfacing and fencing were damaged during this period due to overuse / misuse.
- 4.7 Although some remedial action was taken on the worst of the issues, the impact of the pandemic exacerbated the general decline in the appearance of the city's parks, most of which has yet to be fully addressed. Although use has diminished since the dark days of lockdown, the increased use and misuse of parks continued throughout 2022, further exacerbated by the exceptionally long and hot summer. The likelihood is that the current cost of living crisis will mean parks will be intensively used in 2023 too and hence parks will continue to suffer from increased levels of wear and tear for the indefinite future.

5 Maintenance

- 5.1 Good standards of maintenance in our parks and green open spaces is probably the most important aspect of encouraging greater use and instilling a sense of safety. The creation of an attractive green environment including appropriately mown grass; attractive well-pruned shrubs; good tree stock, minimal litter, sufficient and regularly emptied bins; prompt removal of graffiti; good quality path network and a lack of dogs' mess should be evidenced.
- 5.2 Adequate maintenance is crucial to maintain perceptions that areas are low risk and safe. Poorly maintained grounds, uncollected litter, graffiti and broken furniture etc all suggest a place is uncared for and therefore potentially unsafe.
- 5.3 As part of the Councils Medium Term financial strategy and in response to a cut in Government Grants, the revenue budget for parks was reduced by £1,000,000 which

took effect in 2016. This represented 25% of the overall budget. The budget reduction resulted in a reduction in estate maintenance including cuts to the numbers of staff carrying out maintenance with a resultant reduction in the frequency of grass cutting, reduced leaf clearance, shrub bed maintenance, path edging, the removal of seasonal floral displays, a reduction in Council-run events, a reduction in sports facilities, the removal of weekend working and cessation of night time locking of parks. In addition, tree maintenance and management and the repair and replacement of children's play facilities were also affected. The cuts also led to a reduction in basic infrastructural maintenance including repairs to footpaths and replacing street furniture such as fencing, signage and bins etc.

- 5.4 It was recognised that these service reductions would increase customer dissatisfaction, and be likely to lead to an increase in anti-social behaviour and have a negative impact on the public health agenda. Perceptions of Anti-social behaviour were seen as a key barrier in park use identified in the Greenspace Strategy development.

6 Toilet Provision

- 6.1 The provision of good and well-maintained toilet facilities within parks is important in attracting visitors and encouraging them to stay longer. This is reflected in consultations undertaken as part of the Greenspace Strategy development but also in wider research.
- 6.2 Toilet facilities within the city's parks and open spaces have been limited to only three sites, Coombe Abbey Park, the War Memorial Park and Allesley Park. It has been estimated that these parks receive over a million visits annually and justify the provision of toilets and are well used. Notably all these sites have staff on site.
- 6.3 Toilet facilities are expensive to construct, maintain and are vulnerable to antisocial behaviour and vandalism requiring constant inspection, repair, cleaning and locking and unlocking. Their provision is also subject to available utility access.
- 6.4 Nationally the number of toilets provided in parks has continually decreased and Coventry is no exception. For example the toilet facilities located at the entrance to Edwick Park were taken out of action and demolished some 5/6 years ago due to antisocial behaviour.
- 6.5 The parks service have been working closely with the equalities and diversity team however on an application from the government funding for Changing Places to provide modular toilet facilities accessible for people with severe and multiple disabilities where personal care can also be accommodated. These are proposed to be located at the War Memorial Park and Coombe Abbey Park. The parks service will continue to explore and exploit all funding opportunities to provide suitable facilities in its parks.

7 Catering

- 7.1 Catering facilities are cited as a park provision which would encourage more people to visit a park and stay longer. An easy accessible place to get a cup of tea or ice cream or something to eat and somewhere pleasant to sit nearby and that offers shelter is desirable. Ideally cafés or similar facilities should include toilet provision.
- 7.2 Permanent cafes are provided at both Coombe Country Park and the War Memorial Park and a coffee van at Allesley Park was very popular during the pandemic and

reinforced the long-standing request by park users for a permanent café to be established in the park. It is subsequently intended for a mobile catering tender to be offered to include provision of hot and cold drinks and snacks and additionally ice cream provision – including those parks not currently covered by an ice cream tender.

- 7.3 The Parks Service has always been keen to provide food and drink facilities within more of the city's parks and open spaces. This has been provided to some extent by franchises being available to ice-cream vans which have permission to trade at sites with high footfall such as the Green Flag sites including Allesley Park, Caludon Castle Park and Longford Park and other popular sites such as Coundon Hall Park.
- 7.4 Although other less well used sites currently attract little interest from prospective vendors, a review of the tendering arrangements could be considered to encourage ice-cream vans and pop-up food stalls etc. to provide catering at these sites, especially where there is latent demand and hence the potential for increasing use of the parks concerned if more facilities existed.

8 Paths and access

- 8.1 Good well-maintained footpaths are recognised as being particularly important in encouraging people into parks. Paths around the boundaries of suitable parks are popular both for casual recreation and for cheap, sustainable exercise. A wider network of good paths within a park which provide access to key areas and includes accessible exit and entry points can make a park much more appealing to all users. Such paths maximise the opportunity for people to visit parks in almost all weathers and despite potential wet or otherwise poor ground conditions off the paths. This can help to provide inclusive access to people in wheelchairs and mobility scooter users, older people and park visitors with prams and push chairs as well as the ubiquitous dog walkers, joggers and other park users of course.
- 8.2 New boundary footpaths provided in Caludon Castle Park and Morris Common through the 'Coventry on the Move' programme were well received and are still well used. Similar new footpath schemes in parks are now under consideration including a footpath along the Guphill Brook and completing a boundary path around Coundon Hall Park as well as resurfacing existing paths in Gosford Park and providing a new path in St Margaret's Park.
- 8.3 Although indicative costs are prohibitive at present, there are tentative plans to create a recreational route along the corridor of the River Sowe and its key tributaries. This would link green spaces along the river and provide an 8.5 mile long footpath through many of the city's most deprived areas. A well-surfaced footpath along the river would provide a number of benefits to residents in the area (and beyond) including off-street sustainable transport and an opportunity for simple, affordable exercise and improved mental wellbeing. Details for the scheme and potential funding sources are in development.
- 8.4 Constructing new footpaths is expensive. A new Tarmac footpath in public open space can be estimated at costing upwards of £100 per square metre dependent on the cost of materials (inc. delivery), ground conditions (such as drainage / presence of trees etc.), overall access and whether the excavated material can be reused on site. Most footpaths in parks are at least 1.8m wide.
- 8.5 Resurfacing an existing footpath is obviously cheaper but even so can still cost upwards of £50 per square metre. As a result, existing paths are patched when health

and safety issues are identified but with the result that some paths in the city's parks are becoming a mosaic of various ages of Tarmac patches giving a general air of (partial) neglect.

- 8.6 Modifying access to parks has other challenges too. Access by unauthorised vehicles continues to be a problem with motorbikes etc. being able to get through gates designed to allow access for mobility scooters. Similarly, prevention of larger vehicles is becoming progressively more difficult due to the majority of the existing bollards and similar barriers to access having been installed over 10 years ago. As many were introduced at around the same time, many sites across the city are all needing replacement of the timber bollards and timber fencing at the same time.

9 Seating

- 9.1 Good seating in parks can encourage people to stay longer in a park and help visitors gain the benefits of peace and quiet and clean air, an important consideration in the urban environment. The provision of strategically placed seating along footpaths and key locations not only provides opportunities for visitors to simply stop and take a rest, encouraging relaxation and mental wellbeing but when seats are well-placed, they can also help visitors enjoy watching sport, watch children in their care playing and to experience nature as well as encouraging incidental social interaction between different park users, including those sharing a seat and people walking by.
- 9.2 The provision of high-quality seating is popular with all greenspace users. Seats that are easily accessed from the paths in a park or public space are the most popular. It is estimated that we have 250 such seats in our parks and open spaces. Many of the city's parks have seats and benches which provide a sense of local distinctiveness. These include the sky-blue benches in Longford Park whereas in Caludon Castle Park, the seats have a distinctive logo of the castle included in the legs of each bench.
- 9.3 Although every effort is made by the Parks Service to provide good quality, durable seating in most of its larger parks and open spaces, many of the seats across the city are showing their age. Seating requires ongoing maintenance and repair to ensure the benches etc. remain safe to use for as long as possible, however seats inevitably become worn or rusty or are vandalised. As a result, the practicable life span of a seat is gauged at less than 15 years before it needs replacing. Many of the benches and seats in the city are significantly older than this. Unfortunately, the cost of purchasing and installing a new seat is approximately £1350 per bench and hence it is only possible for a few of the worst of the benches to be replaced per year with consequent issues regarding the slightly shabby look of the remainder.
- 9.4 The Greenspace Service offers a 'memorial seat' sponsorship scheme which allows individuals to effectively purchase a commemorative seat at an agreed location. The sponsorship costs cover the cost of the seat and its installation. On average 5 - 10 seats are provided and installed this way across the city every year.

10 Lighting

- 10.1 Lighting, particularly along footpath networks is typically considered the key factor in improving night-time safety in parks and open spaces. Good quality lighting is often viewed as one of the most important factors in encouraging greater use of parks, especially during the winter. This can include conventional 'street' lighting using 6m columns but can also include illuminated low level bollards or similar and the use of floodlights in ballgames areas etc.

- 10.2 Lighting can clarify the layout of a park by illuminating walkways, focal points, gathering places and building entrances and these areas can then be more easily used by pedestrians, especially at dusk. Conversely by not lighting certain areas, their use at night can be discouraged.
- 10.3 Although providing lighting in parks can enhance public perceptions of safety, it may not reduce actual crime rates. Although lighting in parks reduces the risk of accidents in poor light and assists legitimate use of paths etc. after dark, streetlights can also be reassuring to young people (and others) who may then gather in lit parks after dark with a consequent risk of anti-social behaviour. Nevertheless, as lighting can increase legitimate activity of parks and provide greater passive surveillance, it can still reduce misuse and is especially beneficial when CCTV is also present.
- 10.4 The installation of lighting is expensive however and often dependant on whether there is underground power supply already present on site and what provision near to the site already exists. As a broad indicative cost (as of November 2022), the charge for supply and installation of a standard streetlamp (and lantern) and its connection to an existing supply is upwards of £2000 per column. There is also the ongoing cost for maintenance, service and repair to consider, along with whether or not it is feasible to include any new lights in the PFI scheme.
- 10.5 There are also environmental issues to consider when considering the installation of new lighting schemes in parks. These include any negative effects on local wildlife and concerns over light pollution (both locally and the wider environment). There is also the impact on climate change to consider when looking at adding to regional demands for energy. The advent of new technology such as LED bulbs and improved solar lights may reduce some of the environmental impacts however as well as practical measures such as having park lighting set to turn off at midnight for example.
- 10.6 Some of our parks already have streetlights in at least some areas. These include War Memorial Park, Longford Park, Primrose Hill Park, Gosford Green, Bannerbrook Park, Barras Heath, Caludon Castle, Eagle Street, Edgwick Park, Holbrooks Park, Moat House Park, Nauls Mill Park, Red House Park, Stoke Front, Walsgrave Village Green and part of Willenhall Wood.
- 10.7 The Parks Service are currently exploring the practicalities – and cost - of installing new lighting in Morris Common (Stoke Heath Park).

11 Signage and information Boards

- 11.1 The Green Flag award is an international system by which parks and other green spaces are assessed as to their quality. It is only by meeting a minimum standard that a park can receive an award. Coventry City Council has successfully gained Green Flag awards for 5 of its parks for over 7 years. These parks are Longford Park, Caludon Castle Park, Allesley Park, War Memorial Park and Coombe Abbey Park.
- 11.2 The award scheme sets a standard by which green spaces can be compared and is determined by set criteria. One of the key criteria is whether a park is deemed to be 'Welcoming'. One of the determining factors by which a park is considered to be 'Welcoming' is the quality of any signs or other onsite information.
- 11.3 Although 'Welcome to' entrance signs are important, a system of coordinated and complimentary signs throughout a park which are kept in good condition will provide a sense of order and clarity, reassuring visitors that the park is well cared for and

hence is well used and likely to be a safe space to visit. To achieve this, signage should be positive, informative and reassuring, encouraging people to enjoy themselves and with clear maps and similar information to encourage visitors to explore the park concerned.

- 11.4 Signage and interpretation can also be used as a tool to educate users about key elements of the park from its opening hours (where appropriate) through to its history and wildlife or other features of interest. Similarly, 'You are Here' maps in the larger parks can help visitors orientate themselves whilst noticeboards and similar features can provide contact numbers for reporting damage or other concerns (including suspicious activity) and relevant information on (for example) how to book sports facilities or any forthcoming events in the park.
- 11.5 Onsite signage and noticeboards can also provide a means by which local Friends groups with an interest in the park can inform the public about their activities and encourage new members. Signs can also provide other means by which the public can learn more about the park or report concerns, for example QR codes can link to relevant websites or web pages to enable the public to report damage or other concerns.
- 11.6 As part of the Coventry on the Move project, information boards were installed in most of the larger parks in the city. The noticeboards included a map of the park showing the route of the 'healthy walking' paths (marked with bollards at 100m centres) and sufficient space for community information relevant to the park.
- 11.7 Signs and interpretation need not be conventional. Well-designed sculpture and good use of visual arts can help inform visitors whilst adding interest and appeal to the location in their own right.

12 Biodiversity

- 12.1 Interaction with nature and natural spaces offers a variety of mental, physical and social benefits for people, ranging from stress reduction, quicker healing as well as decreasing crime and air pollution. It is important to make sure people have a chance to stay in touch with nature, and we continue to allocate space to support and encourage wildlife.
- 12.2 Many of our parks and green spaces have wild corners or features deliberately managed for nature conservation. From the 3-year rotation of cutting back riverbank vegetation (to encourage the spread of water voles) to the management of the city's ancient woodlands, it is no surprise that the city's parks and green spaces are havens for wildlife.
- 12.3 In surveys of visitors to Coventry's parks, the desire to observe and interact with wildlife is one of the most frequently expressed reasons why people choose to visit their local parks and open spaces. This is reflected in wider research which recognises an interest in and concern for the natural world as a common interest in people across the globe. Ironically however despite this apparent love for nature, biodiversity across the globe has declined faster in the last few decades than ever before. Even more surprisingly, for a nation of animal lovers, England has one of the poorest records for biodiversity. According to a study by the Natural History Museum, the UK was ranked within the lowest 10% of all nations across the globe, the worst of the G7 nations and having just 53% of native species still present in the UK as opposed to the global average of 75%. The worst area within the UK was England.

As a result a genuine means to improve biodiversity in an urban area such as Coventry is an important and significant opportunity which should not be missed.

- 12.4 It is anticipated that in 2023, the requirements of the Environment Act 2021 will become law, requiring all planning permissions granted in England (with a few exemptions) to deliver at least 10% biodiversity net gain. This will generate funds for biodiversity offsetting in several instances where for example a development cannot provide the improvement on site. This effectively will provide funding for changes to existing green spaces in the city – but on condition that the changes will benefit wildlife overall. In Coventry we are already implementing this ahead of the legal requirement to do so and have already generated revenue for biodiversity net gain and are in the position to put these funds towards long term green space improvement projects.
- 12.5 Green spaces throughout the city are currently not well connected. Connectivity between green spaces enhances biodiversity by allowing different species to move and establish in new spaces. By investing in improving green spaces throughout the city and identifying ways in which to improve their connectivity, we will not only improve biodiversity but Coventry will be at an advantage when it comes to connecting sites regionally, demonstrating our place as a pioneering green city.
- 12.6 Part of the work to improve connectivity and provide biodiversity enhancements will mean providing many of the city's parks with new wildlife-friendly features such as wildflower meadows, new woodlands, hedgerows and wetland areas such as ponds etc. These will enable wildlife to become established and to travel across the city whilst enabling the public to have increased contact with wildlife.
- 12.7 The Parks Service is working in partnership with the Council's Biodiversity and Ecology team to ensure any biodiversity funds will be spent holistically, improving green spaces across the entire city and in as cohesive a fashion as possible, improve connectivity whilst improving the individual sites. This will include investment to improve the quality and diversity of wildlife habitats in public open spaces including parks, woodlands and other green spaces and also in new areas currently outside the portfolio of Parks Services.
- 12.8 It is already recognised that sites where biodiversity enhancements take place should include a means by which the public's contact and engagement with nature can be provided. In doing so public support for improved biodiversity and more 'natural' green spaces will take place. This means that new sites could become new public open spaces - but with an emphasis on biodiversity. It is consequently important to stress that any parks and other sites benefiting from new habitats for wildlife will also still be able to be used for recreation and general amenity as appropriate.
- 12.9 Through Local Nature Recovery Strategies, green spaces will be enhanced, better connected and be better able to contribute to improved biodiversity on a local and regional scale. For nature recovery strategies to be effective however, a different approach to long term management of Coventry's green spaces will be needed. This will include changes to maintenance practises which may need specialist equipment and/or contractors for its delivery. Fortunately, the biodiversity offsetting funds allow for the maintenance of biodiversity enhanced sites for 30 years. The details and costs of the new maintenance regimes are being developed.
- 12.10 The move towards having greater connectivity between the city's green spaces and more wildlife-friendly features in parks meets with one of the stated aims of the

CCC Green Space Strategy (item 6.3.7 - biodiversity and green infrastructure). Creating new woodlands and increasing tree cover generally will also help meet the goals of the Urban Forestry Strategy.

13 Presence in Parks

- 13.1 The City Council has three parks with staff routinely present on most days; namely War Memorial Park, Allesley Park and Coombe Abbey Park. The presence of uniformed City Council staff in parks gives confidence that the open space is being maintained and helps provide an added feeling of security to visitors.
- 13.2 Streetpride staff maintain the majority of the city's parks (with the exclusion of Coombe Abbey Park and assisting the site team in War Memorial Park) and their staff regularly visit the green spaces across the city, performing routine tasks including bin emptying, grounds maintenance and cleansing operations. The frequency and nature of Streetpride visits varies from site to site and across the year. Streetpride operatives wear hi-vis PPE branded with the City Council logo and drive clearly branded Council vehicles. The operatives are task orientated however and have limited time to engage with the public.
- 13.3 The Parks Service's rangers team play a vital role in the maintenance and management of many of the city's parks especially in terms of public engagement. The rangers wear a distinctive uniform and are well known to many people across the city not just because of the breadth of work they carry out all over Coventry but because their activities are often reported on their own Twitter feed which has many followers (@covparkranger).
- 13.4 The rangers are the more obvious front-facing team within the Parks Service and work closely with the public in a variety of roles. This includes leading practical tasks with volunteers such as Friends groups and Residents Associations and also with teams of corporate volunteers from local businesses who wish to carry out 'green' work in the city.
- 13.5 The rangers provide an invaluable service, engaging with community groups at all levels. They work routinely with approximately 20 groups of volunteers including old and new groups such as the Friends of the Seven Arches (formed in Summer 2022), the Hearsall Litterbusters (formed in 2020) and the Normandy Day (Peace Orchard) group (formed in 2019).
- 13.6 The rangers work with groups of volunteers in site management; includes consulting on management plans and leading practical conservation tasks. The rangers also help with events across the city, both helping deliver those organised by volunteers and those organised by other services and outside providers (e.g. The Starfish Collective). The rangers also lead their own events including the annual Bands in Parks concerts, bat walks and bird surveys. They also deliver holiday activities for children (where the rangers provide educational activities in parks during school holidays).
- 13.7 At a practical level, the rangers deliver practical conservation of many of our wild areas, ranging from cut and collect mowing of small areas of conservation grassland through to woodland management. They also provide an important role in helping maintain the city's waterways including the removal of fly-tipping and refuse from lakes, ponds and rivers and keeping the trash screens clear. The rangers also help provide access to sites for contractors, help in woodland management and the

maintenance of Rights Of Way (including bridge and boardwalk construction) and are the general go-to team for ad-hoc parks maintenance outside of contracted work or that delivered by Streetpride.

- 13.8 For a team of just four people (currently operating as a team of three due to a vacancy) the rangers perform a vital service in the management of green spaces across the council. Their adaptable role meant they were able to support ensure the delivery of PPE and other equipment during the pandemic whilst helping to maintain the parks when staff shortages were created due to Covid 19 infections. In recent weeks the rangers have been responsible for the collection of dead waterfowl from sites with potential avian influenza concerns.
- 13.9 The rangers work extensively with the Parks Development Officers who are also occasionally present in the parks, carrying out health and safety inspections and identifying opportunities for improvements. The PDOs also work closely with community groups, especially in identifying and delivering improvements in parks and other green spaces through project work.
- 13.10 The Councils event team do much to encourage a wide range of events in the parks. So far this year (2022), over 100 events of all shapes and sizes have taken place in parks across the City including our premier parks (Coombe Abbey Park and War Memorial Park). The events have included large scale music festivals, outdoor cinemas, fitness camps, running events, community events, charity walks and such like. This figure does not include additional events held for / by the City of Culture.

14 Dog Control

- 14.1 An important concern for people and a main barrier to entry for some would-be visitors to parks and open spaces are issues associated with dog control and dog fouling. The Council has done much in recent years to control dogs including the introduction of Dog Control Orders in 2015 covering its parks and open spaces which have been renewed twice, most recently in 2021. Dog control orders last for 3 years and cover many aspects of how dogs and their owners are expected to behave. Control orders include measures to prevent dog fouling and where dogs can walk on or off leads and other practical measures such as limiting the number of dogs someone can walk at the same time, excluding dogs from designated play spaces and for the order affecting War Memorial Park, specific detail about how dogs can be walked in specific areas in the park. Dog control orders are intended to ensure that users of parks and green space can coexist with dogs and their owners and have legal repercussions beyond other legislation (such as the Dog Fouling of Land Act 1996 (and its successor, the Clean Air and Environment Act 2005)).
- 14.2 The orders receive full consultation from key partners, including, but not limited to, Police, Friends of parks groups, dog owners and vets.
- 14.3 All parks and green spaces are covered by 'dog fouling' 'dogs' maximum' (6 dogs) and 'dogs on lead by direction' (this one allows the Dog Enforcement Officer to instruct a dog walker to put the dog on a lead if deemed out control)
- 14.4 All enclosed children's plays areas are 'dog exclusion'. The Premier parks have 'dog on lead' zones which are clearly marked.
- 14.5 In the last 3 years there have been 12 Fixed Penalty Notices issued for dog offences in parks and 2 prosecutions

14.6 The parks are patrolled by both the dog enforcement officers and the NEO's

14.7 The majority of complaints are for dogs off leads in designated 'dog on lead' areas and dog fouling.

15 Health Inequalities Impact

15.1 Parks and green spaces are highly valued by the citizens of Coventry and contribute greatly to improving the quality of life to those that live and work in the city, helps address health inequalities and provides valuable wildlife habitats.

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Coventry City Council

Briefing note

To: Communities and Neighbourhoods Scrutiny Board (4)

Date: 8 December, 2022

Subject: Householder Design Guide Supplementary Planning Document (SPD) public consultation

1 Purpose of the Note

- 1.1 To inform the Communities and Neighbourhoods Scrutiny Board (4) of the Householder Design Guide Supplementary Planning Document (SPD) proposed consultation and for the Board to make representations to those consultation.

2 Recommendations

- 2.1 The Communities and Neighbourhoods Scrutiny Board (4) are recommended to:
- 1) Consider the draft SPD at Appendix 1 and presentation provided at the meeting
 - 2) Identify any representations for the consultation

3 Background and Information

- 3.1 The draft SPD sets out guidance to applicants seeking to extend or alter their properties.
- 3.2 The SPD comprehensively updates the current guidance that dates to 2013, and promotes high quality design throughout.
- 3.3 A seven week consultation is requested for approval at the Cabinet Member meeting on 05 December. This is longer than the normal consultation period of six weeks, reflecting that the consultation will run over the festive season.
- 3.4 All responses will then be analysed and, where appropriate the SPD amended accordingly, before submitting to Cabinet for final adoption. In line with the legislation, the Cabinet report will include a statement setting out the details of the consultation, a summary of the main issues raised and how they have been addressed.

Appendix 1 – Draft Householder Design Guide SPD

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Coventry City Council

Householder Design Guide

Supplementary Planning Document (SPD)

Consultation Draft September 2022

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- 2.0 Promoting Architectural Innovation
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Executive Summary

What is a SPD?

A Supplementary Planning Document (SPD) is a document which contains additional detail on how the Council will interpret and apply specific policies in its Local Plan. A SPD cannot include any new policies that do not currently form part of the Local Plan and a SPD also does not form part of the Local Plan. However, it is a key consideration in the determination of planning applications and applicants are advised to refer to the contents of a SPD, as this will provide guidance on how the Council will carry out its decision making functions.

Aims and Objectives

Householder Design Guide SPD supports Local Plan design policies by setting out what the Council considers to be good residential design. Its purpose is to provide guidance for householders and their agents in setting out principles for extending their home.

The Guide sits alongside, and should be read in conjunction with, other design guidance documents the Council has published.

Applying the SPD

The Guide relates to householder development in the City. This includes:

- Householder improvements (e.g. extensions & curtilage developments); and
- Conversions to residential uses and extensions & curtilage development in relation to Houses In Multiple Occupation (HMO's) .

The Guide does not provide guidance on matters already addressed by National Building Regulation requirements (e.g. energy and water efficiency and disabled access). The City benefits from a number of specific and detailed Conservation Area character documents in the form of Supplementary Planning Documents (SPD) and Conservation Area Appraisals. This Householder Design Guide sits alongside these documents and should be read in conjunction with them.

The Government and other bodies are expected to prepare or amend their policies, advice and guidance in a number of areas referred to or relevant to this SPD. Where this occurs, new or changed documents could also be material planning considerations and should be considered alongside this SPD.

1.0 Introduction

1.1 This guide sets out design considerations for all householder development.

1.2 The SPD is structured to ensure the following key elements are covered by:

- summarising relevant Local Plan policy that is relevant along with key aspects of National policy;
- setting out the information that should be included when submitting a planning application;
- providing guidance on good practice in residential design.

1.3 This SPD is intended principally for applicants when seeking planning permission to extend their homes, to inform their agents, and to assist planning decision makers. It has been produced to ensure that proposals comply with Local Plan Policy DE1 – Ensuring High Quality Design.

1.4 This SPD is a material consideration in householder planning decisions and decision makers will use it to help determine planning applications.

How to use this guide

1.5 The Householder Design Guidance articulates the key considerations when developing proposals for alterations to residential properties. The guide moves through over-arching design principles to more detailed matters; with key design principles in summary on each topic shown highlighted in blue boxes.

2.0 Promoting Architectural Innovation

This design guide seeks to articulate the key principles to be considered in householder applications to the local planning authority, which sits alongside National Policy context where significant weight should also be given to "outstanding or innovative designs which promote high levels of sustainability or help raise the standard of design more generally in an area" (NPPF). In seeking to encourage architectural innovation in the City, guidance upon a 'justification statement' is included at Appendix One, allowing applicants to build a case where deviation from these principles may be sought. This template seeks to ensure where such applications are made, sound contextual responsiveness is demonstrated alongside architecturally innovative design proposals, thus seeking to balance innovation alongside ensuring proposals positively contribute to local identity and character, and do not adversely impact on amenity (DE1).



3.0 Policy Context

National Planning Policy Framework

3.1 The NPPF, revised in July 2021, sets out the Government's planning policies for England and how these should be applied. Its main purpose is to protect the environment, promote healthy communities and sustainable growth.

3.2 Among the key changes to the NPPF are updated policies aiming to improve the design of new developments, in response to the findings of the Government's Building Better, Building Beautiful Commission. Key elements of this approach include:

- changes to the overarching social objective of the planning system (paragraph 8b) to include the fostering of "well-designed, beautiful and safe places".
- introducing a new test that development should be well-designed (paragraph 133). This says that "development that is not well designed should be refused, especially where it fails to reflect local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes".
- the test clarifies that "significant weight" should be given to "development which reflects local design policies and government guidance on design, taking into account any local design guidance and supplementary planning documents such as design guides and codes". Significant weight should also be given to "outstanding or innovative designs which promote high levels of sustainability or help raise the standard of design more generally in an area", paragraph 133.
- paragraph 128 states that in order to "provide maximum clarity about design expectations at an early stage", all local planning authorities "should prepare design guides or codes consistent with the principles set out in the National Design Guide and National Model Design Code, and which reflect local character and design preferences".

National Planning Practice Guidance

3.3 The National Planning Practice Guidance document is relevant as detailed in the 2019 Design: Process and Tools¹. This useful document should be read alongside this Guidance, the National Design Guide² sets out the characteristics of well-designed places and demonstrates what good design means in practice.

Local Policy Context

3.4 Local design policies can be found in the adopted Coventry Local Plan 2017. This Guide has been prepared to provide detailed guidance for residential development in relation to these design policies, particularly DE1 – Ensuring High Quality Design, see figure 1.

3.5 This SPD replaces the following SPD/SPG:

- Householder Design Guide, 2003.

Figure 1: Coventry Local Plan design policy

Policy DE1 Ensuring High Quality Design

1. All development proposals must respect and enhance their surroundings and positively contribute towards the local identity and character of an area.
2. The setting, integrity and character of heritage assets will be protected in accordance with Policy HE2.
3. All development will be expected to meet the following key principles:
 - a) respond to the physical context of the site;
 - b) consider the local distinctiveness and identity of the site but also have regard to opportunities to enhance the local built and natural environment through new development and enhanced design;
 - c) where appropriate, retain and incorporate into the layout the protection of important views, including key views of the three spires;
 - d) preserve or enhance the character and setting of the historic built, landscape and where appropriate archaeological environment;
 - e) preserve or enhance the character and setting of major road, rail and canal corridors;
 - f) clearly define the boundaries between public and private spaces and enclosure of space;
 - g) provide attractive, safe, uncluttered, active and easily identifiable, high quality public spaces;
 - h) make places that inter-connect and are easy to move through;
 - i) ensure places are easily understood by users, with clear routes and distinct physical features;
 - j) seek high quality design and attention to detail in the layout of developments, individual buildings and infrastructure in terms of function and impact, not just for the short term, but over the lifetime of the development;
 - k) be adaptable to changing social, technological, economic and market conditions and ensure that developments maximise the use of the site;
 - l) promote diversity through mixes of uses within a site or building, which work together to create vital and viable places;
 - m) be proactive in responding to climate change and adopt sustainable and low carbon construction principles in terms of their design, layout and density;
 - n) consider green infrastructure at the earliest stage in the design process, to ensure that it is well planned, designed, managed and maintained. It should also be well integrated and serve multiple purposes (as appropriate);
 - o) support the integration of through routes for public transport and incorporate suitable bus priority measures as appropriate;
 - p) minimise adverse impact on important natural resources;
 - q) conserve, restore or enhance biodiversity; and
 - r) respect and enhance landscape quality including trees, hedges and other landscape features of value.

4.0 Householder Extensions & Design Principles

4.1 This section provides additional guidance for those looking to extend or alter their existing homes.

Extensions - General guidance

4.2 Extensions to houses, both individually and cumulatively can have a profound effect on the appearance of an area and on the amenities enjoyed by the occupiers of adjoining properties.

4.3 Inappropriately designed extensions can result in a loss of privacy, restrict outlook, be overbearing and overshadow adjoining properties.

4.4 Extensions also have the potential to erode gardens and the spaces between buildings which contribute to visual amenity and suburban character. Designers should pay careful attention to the character of the area and the nature of the spaces between buildings and plot boundaries.

4.5 In most situations, extensions need to respect the main building they relate to in terms of style, form, fenestration, and detailing. However, on demonstration of innovative approaches with sound contextual rationales, other approaches may be deemed acceptable.

4.6 Where it is appropriate to seek subservience in the design outcome, architectural devices may include :

- Using a lower ridge height, utilising setbacks, and ensuring that the extensions width is no more than half the width of the existing dwelling;
- Using the host building as a reference point for appearance, materials and details such as ridge, verge and eave finishes, head and cills, brick coursing, dressing and quoin work;
- Using a roof form and slope that reflects the main building.
- Matching window style, form and positioning;
- Matching brickwork of the existing house in terms of colour, texture, type, size and brick bond and mortar joints;

- Matching roofing materials in terms of colour, texture, type and size.
- Matching windows, joinery and door detailing in terms of design, proportions, recessing and positioning; and

4.7 Creating outstanding or innovative designs which promote high levels of sustainability will be encouraged to help raise the standard of design more generally in an area; as long as they complement with the overall form and layout of their surroundings and respect amenity (see figure 2).

Figure 2: examples of extensions that provide contrast to host building



Principle 1: Extensions

- Extensions should not result in a material loss of amenity to neighboring properties as a result of overshadowing, loss of outlook, visual intrusion, eroding privacy or being overbearing.
- Extensions should not erode garden spaces and spaces between buildings which contribute to the visual amenity and character of a locality.
- Extensions will usually be expected to respect the form, scale, architectural style and materials of the original building.
- Proposals that seek to deliver innovative, positive difference to the host building may be acceptable, when supported with a sound architectural rationale.



4.8 The following sections provide specific, more detailed guidance for common forms of extensions to houses.

Front extensions

4.9 Although consideration needs to be given to amenity issues, the primary consideration for the design of front extensions (including porches) will be the impact on the street scene and local character.

4.10 Generally front extensions will only be acceptable where the building is set well back from the street frontage in a large plot, or where the building is set back further from the street than the prevailing building line.

Principle 2 – Front Extensions

- Front extensions are generally not acceptable unless they can be appropriately designed without projection forward of the established building line.
- Porches should be designed with a roof profile and materials which compliment that of the main roof of the dwellinghouse
- Where front extensions are proposed, distinctive features of the host dwellinghouse should be maintained, whilst roof lines and facing materials should complement the existing property.
- Where a dwellinghouse has an existing bay window or similar feature, a clear separation should be retained between this bay and any front porch or extension. Linking of bay windows to porches will not normally be acceptable.
- Front extensions should not reduce the parking provision available for the dwellinghouse. Where off-street parking is provided to the front of a dwellinghouse, this should meet the requirements of the Councils parking standards.



Above & Below: Good examples of well-considered porch design



Side extensions

4.11 Amenity issues and impact on the street scene and local character are both important considerations for the design of side extensions. Side extensions should, most often, remain subservient to the main building whilst seeking to respect and contribute positively to the design of the host building.

4.12 Side extensions will be assessed case by case, and where more positive design outcomes may be achieved through deviation from the rule of subservience these will be considered on their own merit.

4.13 In many areas of Coventry, the spaces between buildings are important components of street scenes and the character of the area. Locality specific design documents (e.g. Conservation Area Appraisals) for the City should also be consulted when designing side extensions as they will often identify and detail the nature of important spaces in residential areas.

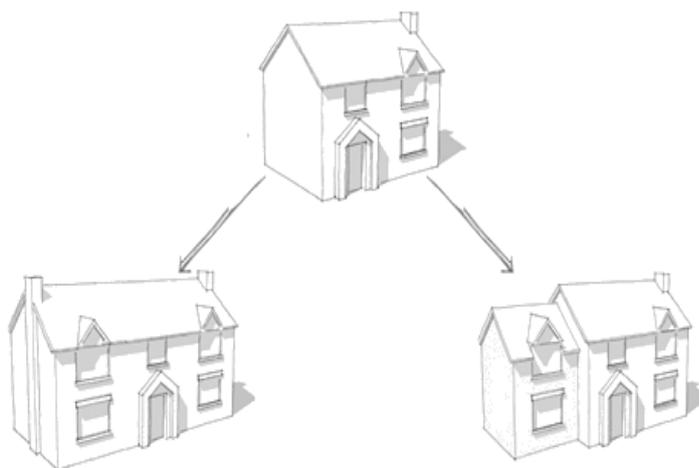


Figure 3: Example of side extension approaches, where subservience or balanced outcomes may be achievable

4.14 Spaces between buildings are also important for amenity reasons. A space or setback from a building side to the property boundary should be retained wherever possible to allow for adequate servicing and rear access.

Principle 3 - Side Extensions

- Side extensions should normally be proportionate to the existing dwellinghouse
- Side extensions should normally be subservient with a lower ridge
- To prevent the linking of non-terraced houses, first floor side extensions should normally be set in 0.5m from the side property boundary and set back 1m from the front principal elevation, however other design approaches may be acceptable if they prevent inappropriate terracing
- Facing materials should normally complement the existing dwellinghouse

Principle 3 - Side Extensions (continued)

- Roof pitch, style and materials should normally complement the existing dwellinghouse
- Window proportions, joinery and door detailing in terms of design, proportions, recessing and positioning should normally complement the existing dwellinghouse
- Where a neighbouring dwellinghouse has a side facing window which provides the primary source of light and / or outlook to a habitable room (e.g. kitchen, living room, bedroom), a side extension which adversely impacts on such a window would not normally be acceptable. (Using the 25-degree rule below can help assess acceptability)
- Clear glazed windows will not be permitted above ground level in elevations where they would result in overlooking of a neighbouring property
- Where the side of a dwellinghouse is at a right-angle to the front or rear of an adjoining dwellinghouse a minimum distance of 12m should be retained between the side of your extension and the front or rear of the neighbouring dwellinghouse. This distance may need to be increased if the ground level of your property is elevated in relation to your neighbours.
- Extensions should be designed to ensure that guttering, fascia boards, flues, extraction vents etc do not overhang the property boundary.

Principle 4 - Corner Plots

- Should deliver a width of extension which is proportionate to the width of the original dwellinghouse.
- Not infringe upon any established relevant building lines in the immediate vicinity.
- Maintain a minimum distance of at least 2m (measured at the narrowest point) between the edge of the side extension and the boundary.

4.15 Special considerations apply to corner plots as it is often these spacious and unique plots that provide suburban areas with their green and open characteristics. In addition to the factors mentioned within Principle 3. Extensions into these distinctive areas will be considered in the context of the openness & character of the plot in relation to the surrounding area, and the scale of the extension relative to the existing dwelling

Figure 4 - 25 Degree rule – Side Extensions

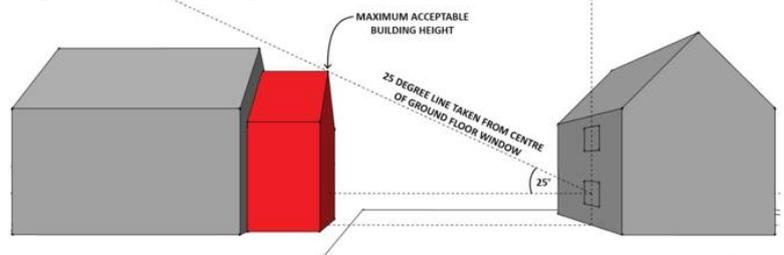
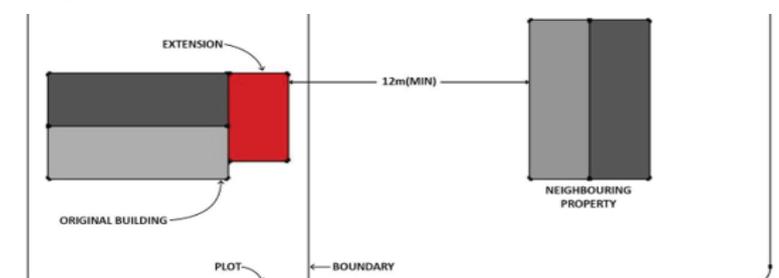


Figure 5 - 12m Rule – Side Extensions



Rear extensions

4.16 Amenity issues will be the primary considerations in the design of rear extensions. Regard needs to be given to potential overshadowing and visual intrusion as well as loss of privacy, outlook, and light of adjoining properties.

Principle 5: Rear Extensions

- Development should not unduly restrict use of the private rear garden and should be proportionate to the size of the dwellinghouse and its plot.

For single storey rear extensions, the following principles should be followed: -

- The depth of the extension should not exceed a projection of 4m along the boundary or impinge an imaginary 45-degree line taken from the centre of the neighbour's closest habitable rear facing window (whichever gives the greater depth) subject to ground levels and orientation.
- Where there is a stagger in the rear building line, the 4m projection will be measured along the boundary from the rear of the affected neighbour's property, subject to ground levels and orientation.
- For properties with large outriggers/ rear wings and only a narrow space to the boundary it will not normally be appropriate to infill the space to the boundary unless it can be demonstrated that the 25-degree rule is met. If the 25-degree rule cannot be met, it is normally more appropriate to extend the outrigger.

For two storey rear extensions the following principles should be followed: -

- The depth of the extension should not exceed an imaginary 45-degree line taken from the centre of the neighbour's closest habitable rear facing window (ground or first floor)
- A minimum rear to rear windows distance of at least 20m should be retained
- A minimum distance of at least 10m should usually be retained between first floor windows and the rear site boundary
- Any side facing windows above ground level should be obscure glazed to prevent overlooking

Principle 5: Rear Extensions

(continued)

- Two storey extensions should not link into a dormer window and ensure an appropriate roof design that reflects the character of the area is provided.
- Balconies are rarely acceptable as in built up areas they cause overlooking and loss of privacy to your neighbours.

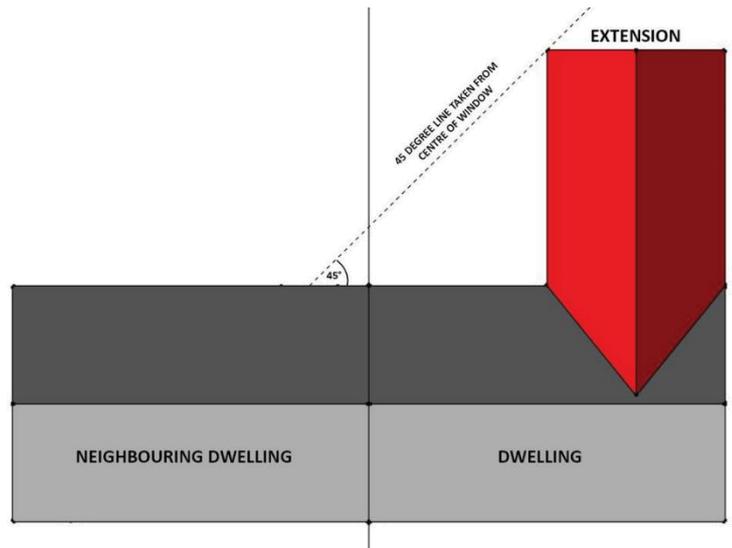


Figure 6 - 45 Degree rule – Rear Extensions

Roof alterations (including dormers)

4.17 Additional habitable space in existing dwellings can sometimes be created by altering and increasing roof spaces using dormer window extensions, roof lights, and increases to ridge and eaves heights.

4.18 Changes to roofscapes can be particularly prominent in the street scene and it is important that their design is well considered and high quality. In Conservation Areas, or locations where increased overlooking would result, roof alterations may not be appropriate.

4.19 Acceptable design solutions for converting roof spaces *may* include:

- Positioning dormer windows within the main roof slope, set back from eaves, hips and ridgelines.
- Dormer windows do not dominate the roof slope or existing building they should be the same size or preferably smaller than the windows below and occupy no more than half the width or depth of the roof slope.

- Ensuring dormers do not come within 700mm of the side boundary of the roof slope and 1m measured from the eaves line, measured vertically along the roof slope.
- Aligning dormers with windows below
- Keeping dormer cheeks as narrow as possible and finished in lead, tiles, slates or other traditional materials to complement those used on the original roof slope.
- Using gable end extensions (hipped to gable conversions) where full gables are part of the existing street character.
- Raising roof and eave heights only where buildings in the local context are significantly taller; and
- Using roof lights that are flush with the roof slope and located on rear roof slopes. Roof lights should not dominate roofscapes that are visible in the street scene.

Figure 7 - sketch diagram showing dormers that are an appropriate size and position, and examples of proposals which would not be accepted.

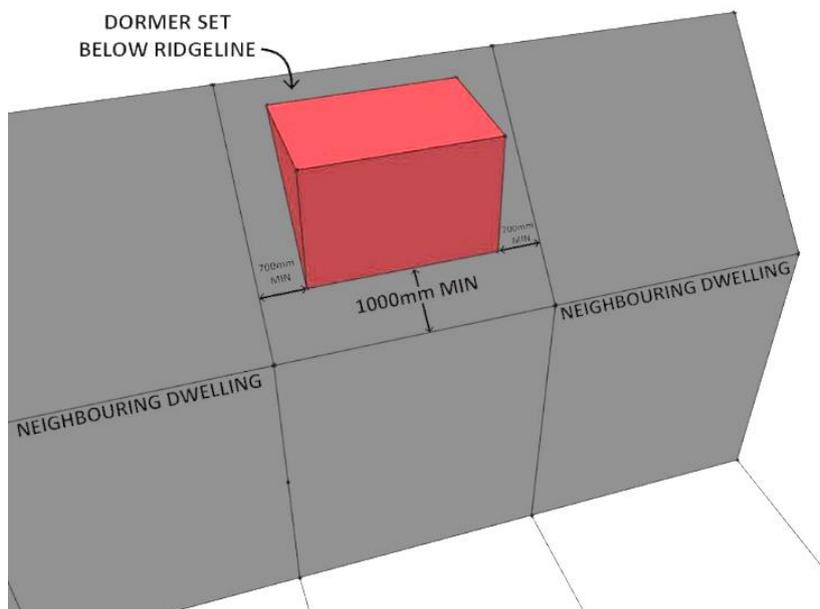


Figure 8 (left) – Dormer window positioning parameters

Principle 6 - Extensions to the roof

- Dormer window extensions on front facing roof slopes are not normally acceptable unless they are part of the established, positive character of the area.
- Dormer window extensions to side facing roof slopes will be resisted where overlooking and loss of privacy would result
- Dormer window extensions on rear facing roof slopes should be of a proportionate scale and subservient to the main roof. This can be achieved by ensuring that any dormer is set in from the sides of the main roof with its front face set up from the eaves to ensure that they do not appear as an extension to the first floor.
- Dormer window extensions that wrap around two roof slopes are not normally acceptable as they create bulky and disproportionate additions
- Balcony areas and railings are not normally acceptable as they can result in overlooking of neighbouring properties.
- Dormer window extensions should be of high-quality materiality which complements the main roof of the existing dwelling.
- The form of a new dormer window should compliment the architectural style of the host property.

Design Principles for Works in Residential Garden Areas

Principle 7 - Garden/outbuildings

- Garden buildings/ sheds should be proportional to the scale of the associated dwellinghouse and plot.
- Garden buildings/ sheds should be sited so they do not result in visual intrusion, overshadowing, overlooking or loss of privacy to neighbouring properties.
- Care needs to be taken on corner plots to ensure that buildings are not located in a prominent position where they could adversely impact on the character of the area.
- Garden buildings/sheds/ outbuildings should only be used for purposes incidental to the use of the dwellinghouse and should not be used for commercial purposes or living accommodation.

Principle 8: Decking and raised platforms

- Decking and raised platforms should be designed to ensure that serious loss of privacy or overlooking does not result..
- Privacy screens will usually be required and will need to be carefully designed to ensure they are not intrusive or overbearing when viewed from neighbouring properties.

Boundary treatments

4.20 Boundary treatments are important in helping to define defensible space, establishing the boundaries between public and private space and setting the character of a street.

4.21 Strongly defined boundaries help to convey ownership and maintenance responsibility, privacy and home security. The absence of clearly defined boundaries, between public and private space can lead to confusion over ownership and responsibility leading to neglect and poor-quality spaces between buildings and public realm.

4.22 The cumulative effect of boundary treatments in a street can be a very significant component of street character and quality. Good quality boundary treatments define the pattern of plots and frontages along a street and create visual interest through the provision of rhythm and variety of materials and form.

4.23 Poor quality, or omissions of boundary treatments can erode street character and quality and can create environments that feel unsafe. This can result from:

- A lack of strong front and side boundary treatments;
- Absence, or very weakly present boundary treatments;
- Partial removal of boundary treatment to accommodate parking;
- Erosion of existing boundary treatments by the insertion of ill-considered new styles of treatments that are out of keeping;
- Long unbroken stretches of high, blank walls or fences and the inappropriate use of security gates;
- Use of poor quality boundary treatments materials (e.g. close boarded fencing) fronting public realm areas.

4.24 Given the importance of boundary treatments to street character and quality, where homeowners seek to construct or omit boundary definitions care should be taken in ensuring proposals contribute positively to the character and quality of the street scene.

Principle 9 – Boundary Treatments

- All boundary treatments visible from publicly accessible land should seek to positively contribute to the character of the street scene or locality.
- Boundary treatments more than 1.2m in height adjacent the highway will be discouraged
- Wooden shiplap fencing should only be applied to rear boundary treatments

Hardstanding and vehicle cross-overs

4.25 If not carefully designed, driveways and hardstanding areas can create hard, unattractive environments that break down the rhythm of plot definitions and landscaping, increase flooding and reduce biodiversity.

4.26 Provision of new vehicle crossings can result in a loss of front boundary definitions and if inadequate space is available in front of a dwelling for parking, result in vehicles:

- hanging over pavement areas, potentially causing problems for pedestrians;
or
- lying hard up against habitable rooms, affecting outlook.

4.27 It is important that new vehicle crossings and areas of hardstanding on residential properties do not contribute to a deterioration of the street scene, a loss of biodiversity, reduced pedestrian safety or increased flooding.

4.28 Potential solutions for minimising adverse impacts of hardstanding include:

- using porous materials such as bonded gravel or blocks;
- keeping driveways and parking areas only as large as necessary;
- Integrating areas into an overall landscaping scheme;
- Ensuring the spaces is enclosed as much as possible by soft planting, walls or other boundary treatments which are in keeping with the character of the area

Principle 10 – Vehicle Crossing and Frontage Hard Standing

- A minimum depth of 5m must be provided to ensure vehicles do not overhang the footway
- Hard standing should be considered in meeting the needs of both vehicle and pedestrian use, providing a definition of routes, and maintaining unobstructed access to dwellings.
- New hard standing areas will be expected to be constructed in porous materials and cover only the minimum space necessary. Hard standing that is not designed as part of a soft landscaping scheme, or which results in a deterioration of the street scene, will be resisted.
- Elevated or raised areas contrary to natural land levels will not normally be permitted.
- Highway visibility sightline requirements must be maintained
- Vehicle crossings considered prejudicial to highways or pedestrian safety will not be permitted

Refuse & Cycle storage

4.29 It is important that the design of bin storage, and where appropriate cycle storage, is considered at an early stage in the design process for all householder developments, as conspicuous and prominent bin storage to the front of properties can have a seriously detrimental impact on the amenity of an area. It is therefore considered important to ensure that all opportunities to deliver positive design outcomes for their accommodation are taken.

4.30 All applications will therefore be expected to demonstrate that sufficient regard has been paid to the accommodation of bin and where appropriate cycle storage on site. The provision of purpose-built storage facilities will be required as part of the application if discrete storage solutions cannot be identified.

4.31 It is important that the storage requirements are handled in purpose-built spaces that are sufficient in size, easily accessible and which do not generate offensive smells or negatively impact on a street scene's character and quality.

Figure 9 – Examples of well-considered bin and cycle storage solutions



Party Walls Etc. Act 1996

You are advised to check if your proposal involves works covered by the *Party Walls Etc. Act 1996*, and if so, you are recommended to seek independent advice.

Appendix One – Justification Statement

The City Council welcome outstanding and innovative design proposals which seek to positively contribute to local character and quality and raise the architectural standard of development within the City.

In recognizing that proposals which seek to deliver architectural innovation may challenge elements of design guidance, where such proposals are submitted, applicants are required to produce a supporting design narrative to ensure that proposals are well justified and appropriately responsive to local context.

The supporting statement should reference the below key points of consideration regarding the articulation of the design process.

Where such applications are received by the LPA, the supporting statement, analysis, and rationales within will be assessed, and decision making upon applications will then be informed by thorough examination of the design justifications presented in the supporting statement.

- **Vision setting**

Articulate the aspiration of the proposals, what change is sought to the property and how the space is hoped to be used in future.

- **Local contextual appraisal**

In seeking to inform design outputs, a local context study should establish prevailing precedents of built form, materiality and architectural detail which may inform the evolution of proposals.

- **Design Steps**

Showing appropriate considerations of the findings of the local context study, the design steps should show how the form of proposals has developed, identifying key informatives through the process

- **Materiality & Detailing**

Referencing local context, the applicant should show how materiality and detailing choices have been informed by the environment within which the proposals are located. Contemporary re-interpretation is encouraged where high quality materials and detailing are proposed

- **Summary & Testing**

Seeking to ensure positive responsiveness, the proposals should then include a critical self-appraisal of proposals, evidencing how local character has informed architectural outputs which yield an innovative design outcome.

Appendix Two – Precedent Images

A2.1 – Collage image showing range of single storey rear extensions which could be acceptable subject to compliance with design principles / appendix one justifications



A2.2 - Image showing a range of two storey extension precedents which could be acceptable subject to compliance with design principles / appendix one justifications



If you need this information in another format or language
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Agenda Item 7

Communities and Neighbourhoods Work Programme 2022-23

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Please see page 2 onwards for background to items

Last updated 29 November 2022

7th July 2022
Consultations on SPD's – Biodiversity and Residential Building Design Highways Asset Management Programme - Scheme Assessment Process
6th October 2022 (moved from 22nd September)
Article 4 consultation HMO DPD Local Listings SPD - Tall Buildings and View Management
3rd November 2022
Homes for Ukraine Scheme
8th December 2022
Housing and Homelessness Services Green Spaces SPD - Householder Design Guide
9th February 2023
Empty Properties Fly-tipping and Street Cleansing Waste Services
23rd March 2023
Strategic Flood Risk Assessment Flood risk management and drainage update report Water Courses – management, infrastructure, and investment
2022/2023
Housing Development Infrastructure Average Speed Cameras
2023-24
Homes for Ukraine Scheme Enforcement Powers

Date	Title	Detail	Cabinet Member/ Lead Officer
7th July 2022	Consultations on SPD's – Biodiversity and Residential Building Design	To input into the consultation on the Supplementary Planning Document for Biodiversity and Residential Building Design	Cllr Welsh David Butler
	Highways Asset Management Programme - Scheme Assessment Process	About the selection and assessment process for schemes coming forward.	Cllr Hetherton Neil Cowper
6th October 2022 (moved from 22nd September)	Article 4 consultation HMO DPD	For the board to contribute to the consultation process	Cllr Welsh David Butler
	Local Listings	To look at the process and criteria for Local Listings	Cllr Welsh David Butler
	SPD -Tall Buildings and View Management	To consider the final SPD before Cabinet agreement	Cllr Welsh David Butler
3rd November 2022	Homes for Ukraine Scheme	How the Council is supporting the Homes for Ukraine scheme	Cllr Welsh Peter Barnett
8th December 2022	Housing and Homelessness Services	An update following an item in December 2021.	Cllr Welsh Jim Crawshaw
	Green Spaces	To consider levels of usage post pandemic and steps taken to encourage usage of green spaces and parks such as paths, lighting, and mile markers	Graham Hood Cllr AS Khan, Cllr Caan, Cllr Hetherton
	SPD - Householder Design Guide	To input into the consultation on the Householder Design Guide SPD.	Cllr Welsh David Butler

Communities and Neighbourhoods Work Programme 2022-23

Date	Title	Detail	Cabinet Member/ Lead Officer
9th February 2023	Empty Properties	To consider the work being undertaken to get empty properties back into use.	Cllr Welsh
	Fly-tipping and Street Cleansing	Including an update from the task and finish group and progress on the implementation of the recommendations.	Cllr Hetherton/ Cllr AS Khan Andrew Walster/ Martin McHugh
	Waste Services	To pick up impact of industrial action, including recycling rates and review of Christmas waste collections	Cllr Hetherton/ Cllr AS Khan Andrew Walster/ Martin McHugh
23rd March 2023	Strategic Flood Risk Assessment	To receive the Joint Strategic Flood Risk Assessment	Cllr Welsh David Butler
	Flood risk management and drainage update report	An annual update on the flood risk management programme	Cllr Hetherton Neal Thomas
	Water Courses – management, infrastructure, and investment	An item on Water Courses within the city, including investment in infrastructure in the City, with appropriate organisations, including Severn Trent Water and the Canal Trust, to be invited – to include the annual report.	Colin Knight/ Neal Thomas Cllr Hetherton
2022/2023	Housing Development Infrastructure	To look at proposals for planned housing developments and infrastructure. Specifically, to look at the timetabling of these developments and associated roads and infrastructure which will be required to support population growth and movement. To seek assurances that infrastructure will be in place before homes are occupied.	Cllr Welsh Andrew Walster/ David Butler
	Average Speed Cameras	Following the introduction of average speed cameras across the city, SB3 referred an item to consider the impact and effectiveness of the average speed cameras on road safety	Cllr Hetherton Joel Logue
2023-24	Homes for Ukraine Scheme	To consider the situation with Ukrainian guests once the 12 month hosting arrangements are ending	Cllr Welsh Peter Barnett

Date	Title	Detail	Cabinet Member/ Lead Officer
	Enforcement Powers	The remit of the Enforcement team was expanded in October 2022. Members will consider the impact that expanding the remit has had on those areas. Areas Members were specifically interested in were skip licenses, dropped kerbs,	Davina Blackburn Cllr AS Khan